

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD MAWRTH, 19EG CHWEFROR, 2019

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

Rhif ar yr Agenda	Eitem
3.	a) <u>S/38052 - NEWID DEFNYDD HEN GAPEL SEION (D1) I DDARPARU SWYDDFEYDD AR Y LLAWR GWAELOD (B1) A CHREU DWY LEFEL YCHWANEGOL O LETY (C3) - 2 x FFLAT 2 YSTAFELL WELY FESUL LLAWR (CYFANSWM O 4 x FFLAT 2 YSTAFELL WELY), CAPEL SEION, STRYD PARCYMINOS, PORTH TYWYN (Tudalennau 5 - 26)</u>
	b) <u>W/37267 - CODI 2 BRESWYL 3 YSTAFELL WELY (1 FFORDDIADWY, 1 FARCHNAD AGORED) AR DIR GERLLAW LLYS BRIALLU, SARNAU, BANCYFELIN, SA33 5EA (Tudalennau 27 - 36)</u>
4.	<u>RHANBARTH Y DE - PENDERFYNU AR GEISIADAU CYNLLUNIO (Tudalennau 37 - 90)</u>

Yn gywir,

Mark James DYB

Prif Weithredwr

Amg.

Mae'r dudalen hon yn wag yn fwriadol



***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

19 CHWEFROR 2019

19 FEBRUARY 2019

RHANBARTH Y DE

AREA SOUTH

***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



S/38052

Tudalen 8

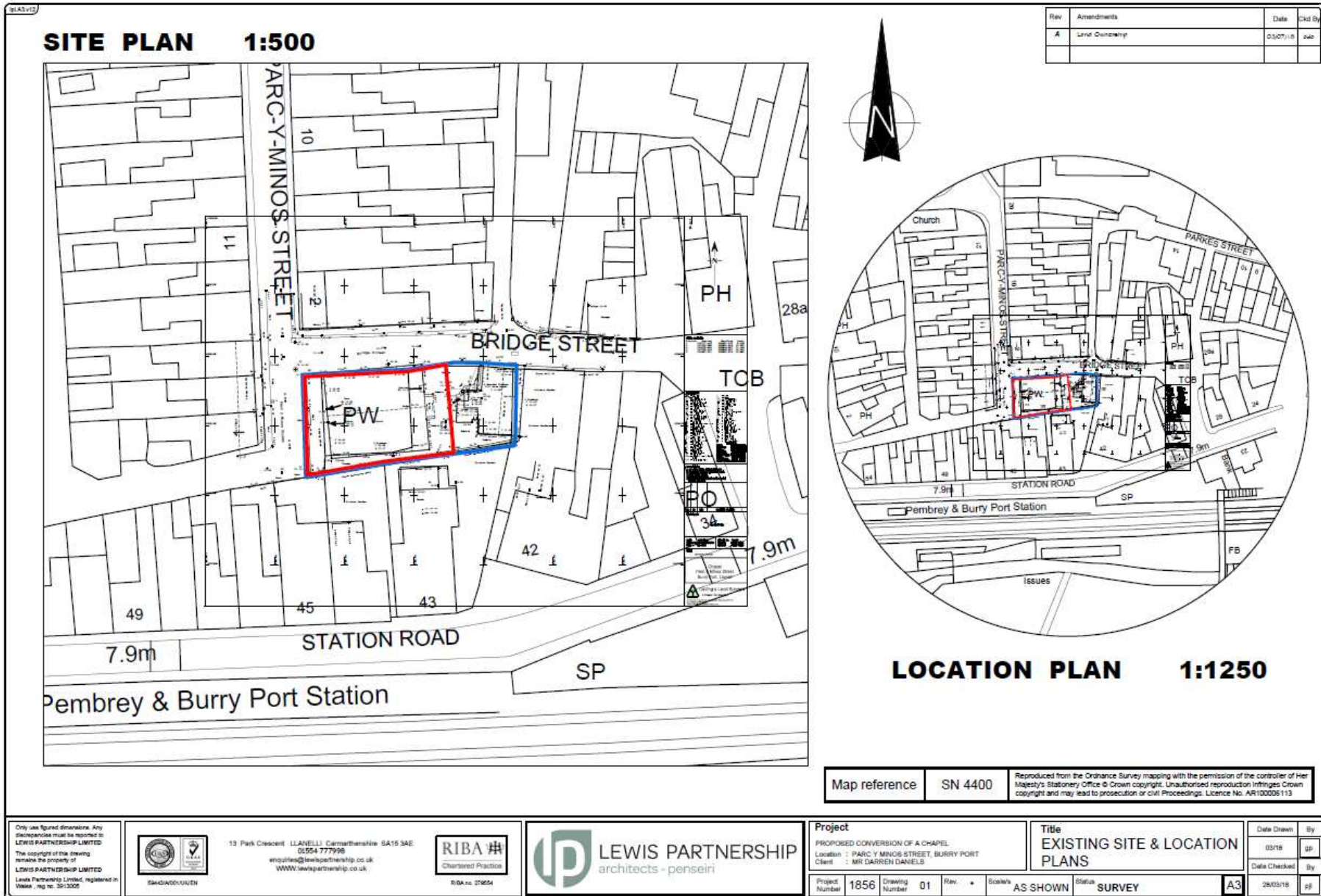
S/38052



S/38052



S/38052



Rev	Amendments	Date	Chd By
A	Land Ownership	03/07/18	pac

Map reference SN 4400
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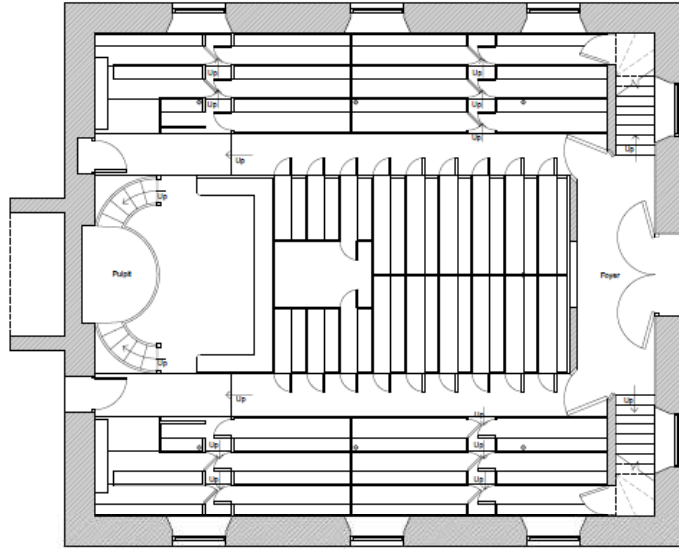


Project			
PROPOSED CONVERSION OF A CHAPEL			
Location : PARC Y MINOS STREET, BURRY PORT			
Client : MR DARREN DANIELS			
Project Number	Drawing Number	Rev.	Scale
1856	01	•	AS SHOWN

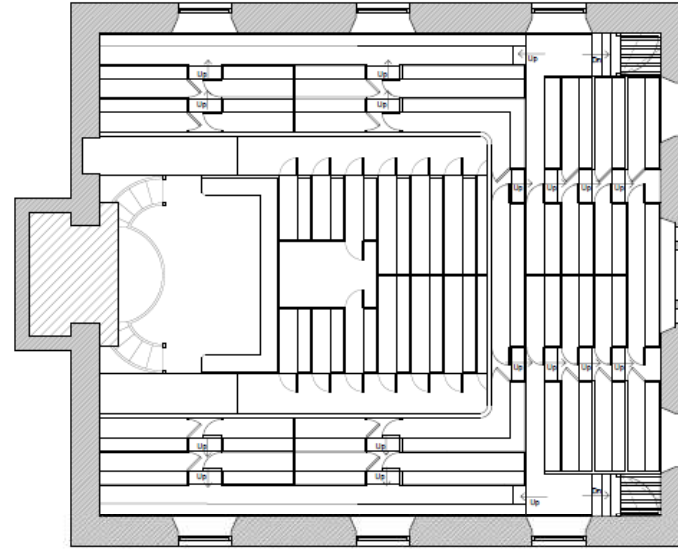
Title	
EXISTING SITE & LOCATION PLANS	
Date Drawn	By
03/18	gp
Date Checked	By
28/03/18	pf

Status	Scale	Sheet
SURVEY	A3	28/03/18

S/38052



Ground Floor Plan 1:50

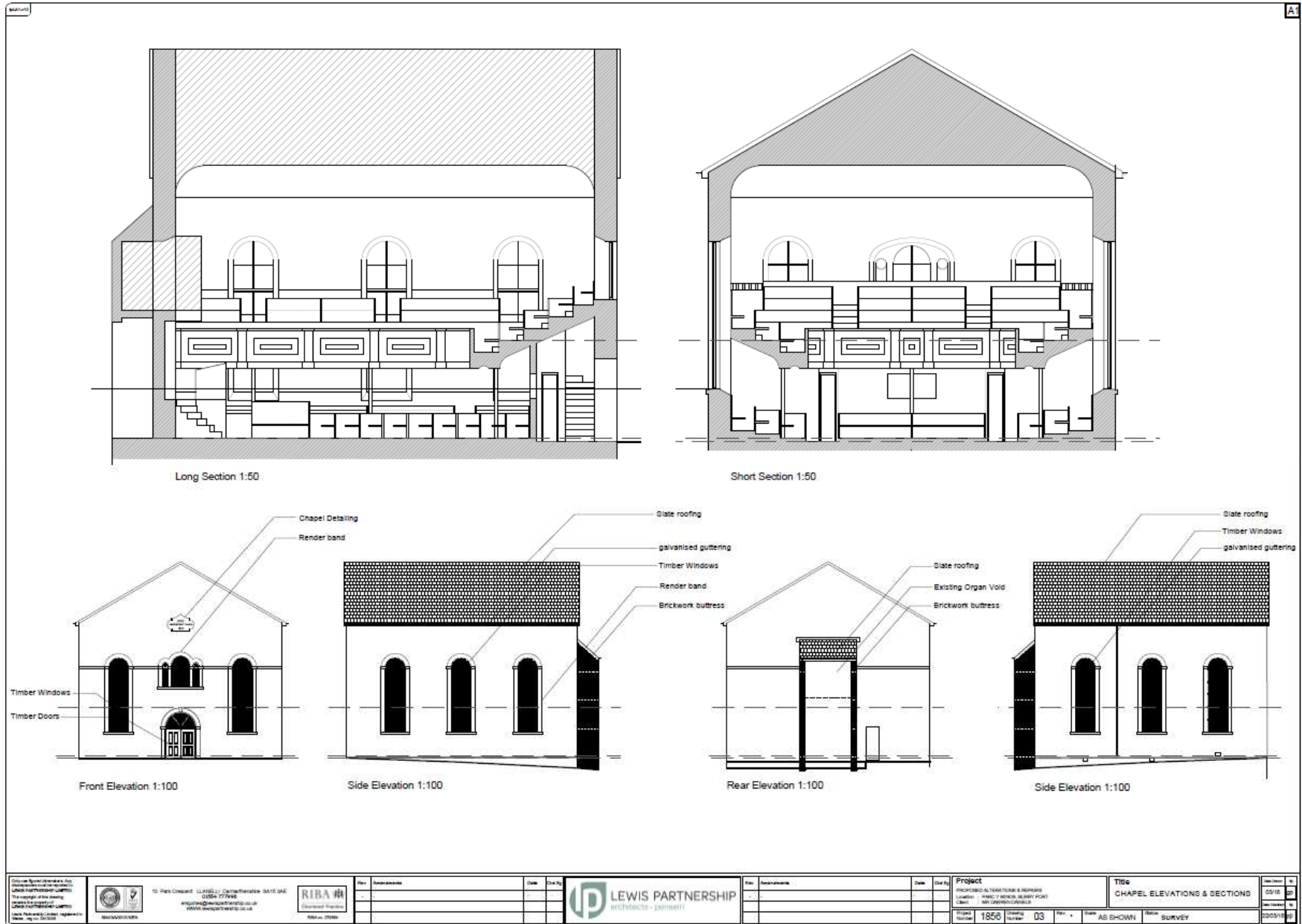


First Floor Plan 1:50

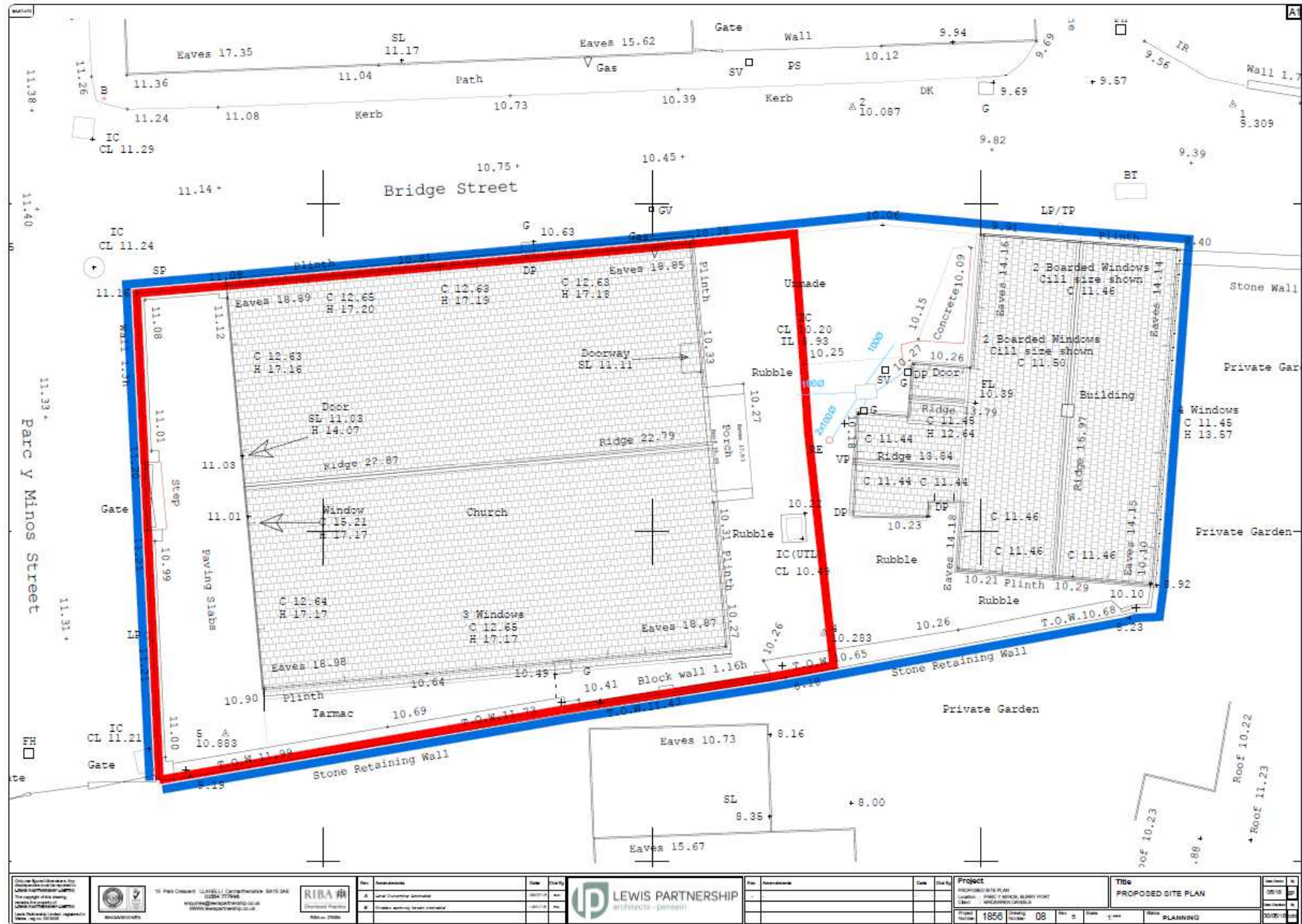
Tudalen 11

<small> This document is the property of Lewis Partnership Limited and is not to be distributed outside the company or Lewis Partnership Limited Lewis Partnership Limited, registered in England, no. 3015328 </small>		13 Park Square, LEICESTER LE1 5RU 01533 77998 info@lewispartnership.co.uk www.lewispartnership.co.uk	RIBA Chartered Practice 1988 no. 17880	No. Date Drawn by	No. Date Drawn by	Project PROPOSED ALTERNATIVE EXTENSION TO BANK 7, MENOR STREET, BUNNY HOLT LEICESTERSHIRE	Title EXISTING PLANS	No. Date Drawn by
		Project Number 1856	Drawing Number 02	Rev. AS SHOWN	Date 23/03/18			

S/38052



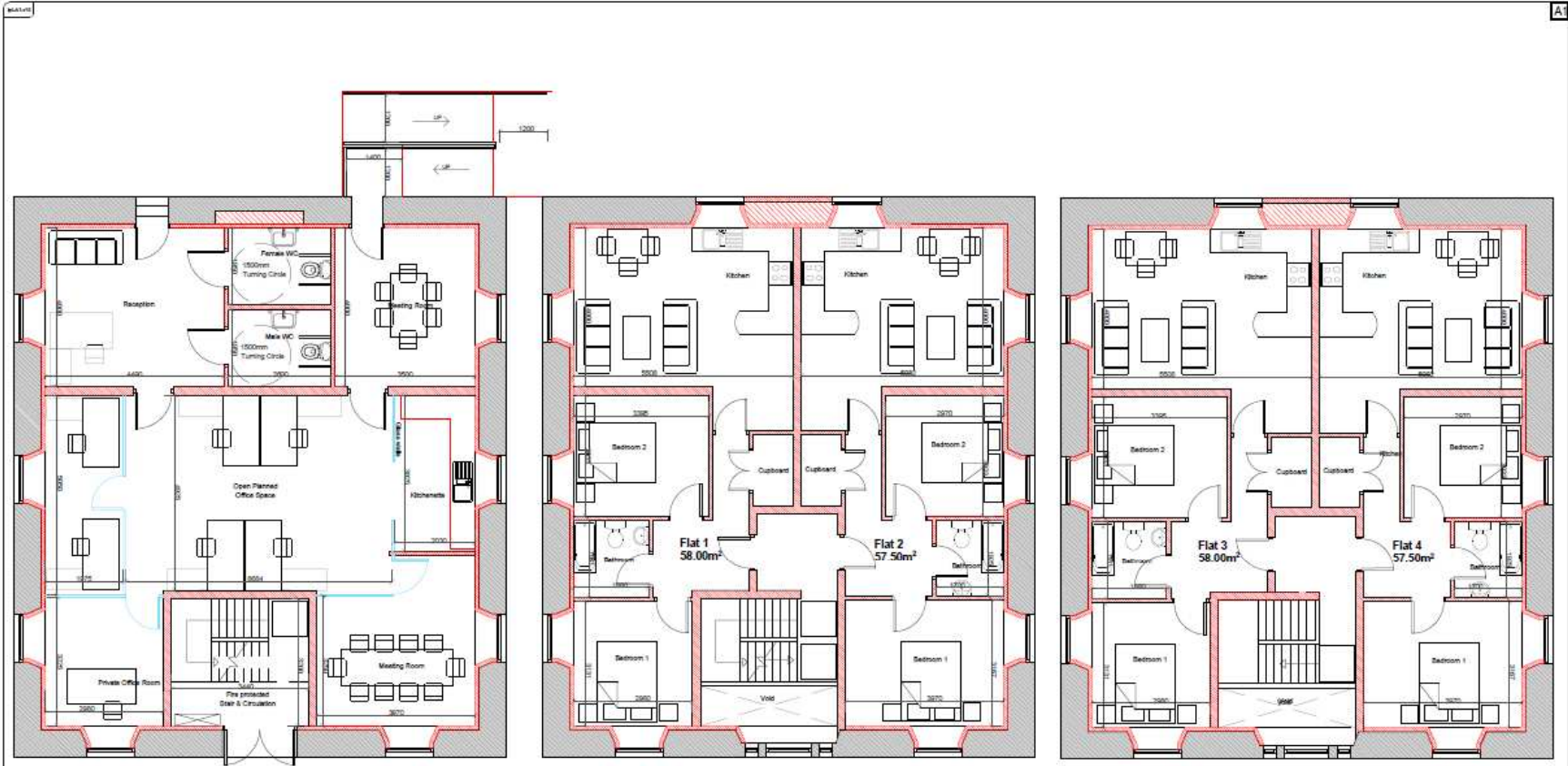
S/38052



Tudalen 13

		Project PROPOSED SITE PLAN Location: PARC Y MINOS, BERRY HORT Client: MORGAN EVANS		Title PROPOSED SITE PLAN	
10 Park Square, Llandelli, Carmarthenshire, SA31 3SE 01554 777498 info@lewispartnership.co.uk www.lewispartnership.co.uk		Date: 08/10/14 Drawn: [Name] Checked: [Name]		Project Number: 1856 Drawing Number: 08 Date: 08/10/14 Scale: 1:1000 Status: PLANNING	

S/38052



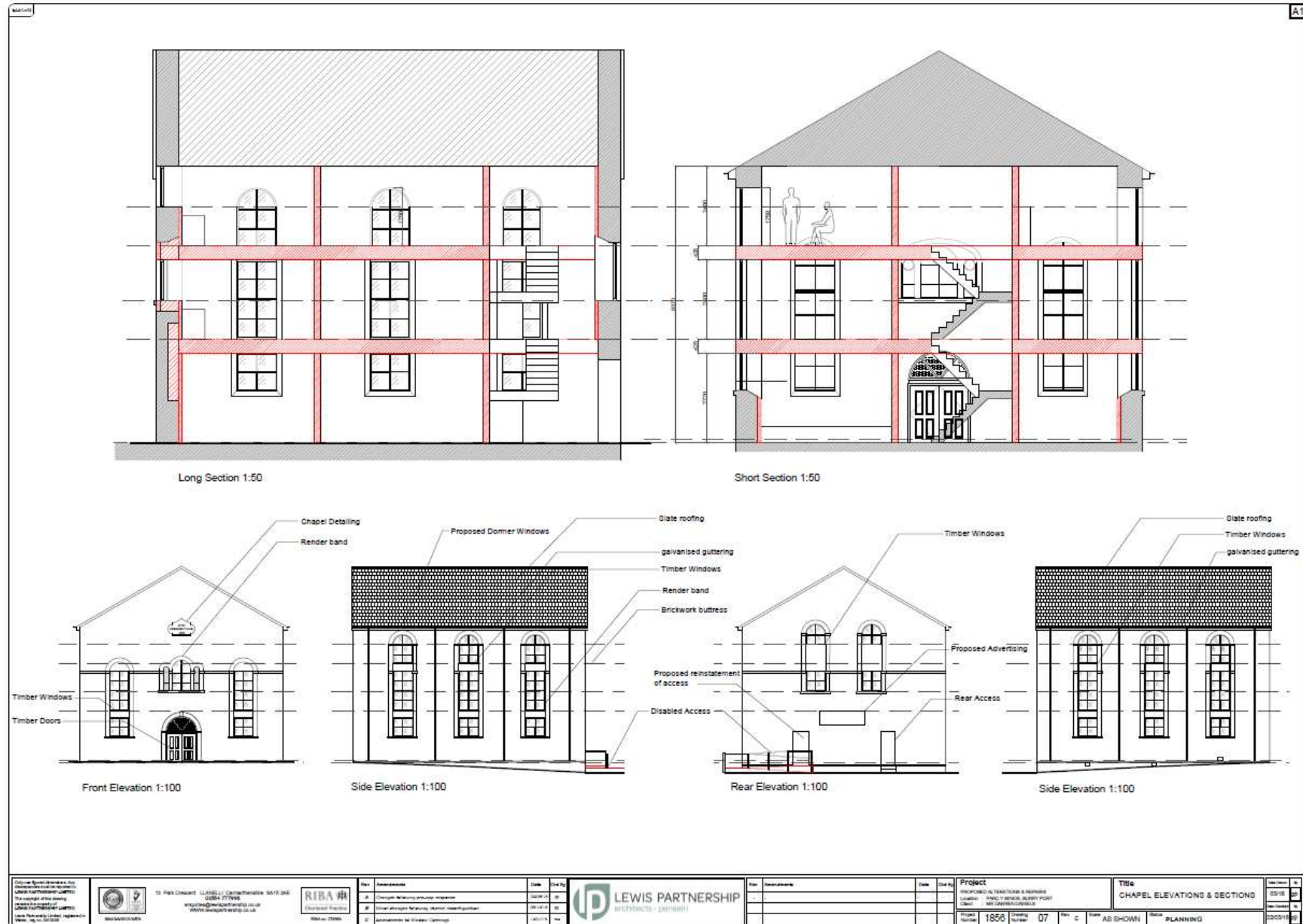
Ground Floor Plan 1:50

First Floor Plan 1:50

Second Floor Plan 1:50

<p>Client: Lewis Partnership Ltd 13 Park Crescent, London W1B 5NF Tel: 020 7462 1000 www.lewispartnership.com</p>	<p>13 Park Crescent, London W1B 5NF Tel: 020 7462 1000 www.lewispartnership.com</p>	<p>RIBA Chartered Institute of Architects</p>	<p>Rev: 01</p>	<p>Date: 2018.01.24</p>	<p>Drawn by: JH</p>	<p>Project: PROPOSED ALTERNATIVES & SCHEMATIC LOCATION: 14 TUDALAN, TUDALAN, HURLEY, BERKSHIRE CLIENT: LEWIS PARTNERSHIP LIMITED</p>	<p>Title: FEASIBILITY PLANS</p>	<p>Date: 2018.01.24</p>
			<p>Rev: 02</p>	<p>Date: 2018.01.24</p>	<p>Drawn by: JH</p>			<p>Project Number: 1856</p>

S/38052



S/38052

SITE PLAN 1:200

SECTION A-A 1:200

SECTION B-B 1:200

SECTION C-C 1:200

SECTION D-D 1:200

SECTION E-E 1:200

<p>Contractor: [Name]</p> <p>Client: [Name]</p> <p>Date: [Date]</p>	<p>Project: PROPOSED ALTERNATION WORKS</p> <p>Location: PARK OF BRACKEN, ALBERT PARK</p> <p>Client: [Name]</p>	<p>Title: PROPOSED SITE SECTIONS</p> <p>Date: 06/18</p> <p>Scale: 1000/1</p>
<p>Scale: 1:200</p>	<p>Scale: 1:200</p>	<p>Scale: 1:200</p>

S/38052



Tudalen 17

S/38052



S/38052



Tudalen 20

S/38052



S/38052



Tudalen 21

Tudalen 22

S/38052



S/38052



Tudalen 24

S/38052



S/38052



Mae'r dudalen hon yn wag yn fwriadol



***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

19 CHWEFROR 2019

19 FEBRUARY 2019

***RHANBARTH Y
GORLLEWIN***

**AREA
WEST**

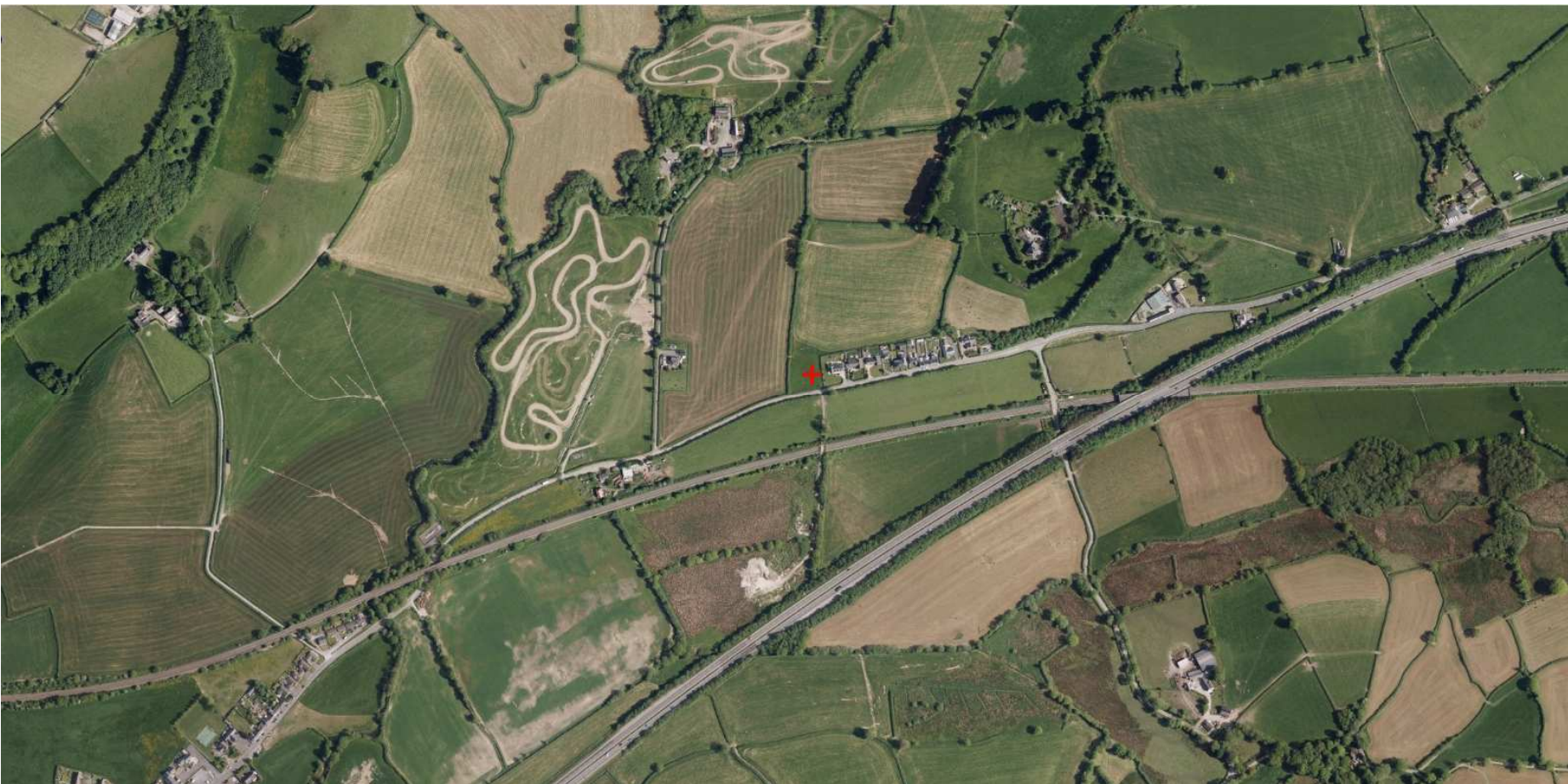
***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU GWRTHOD***

**APPLICATIONS RECOMMENDED
FOR REFUSAL**



W/37267

W/37267



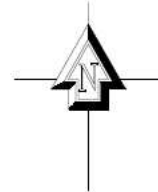
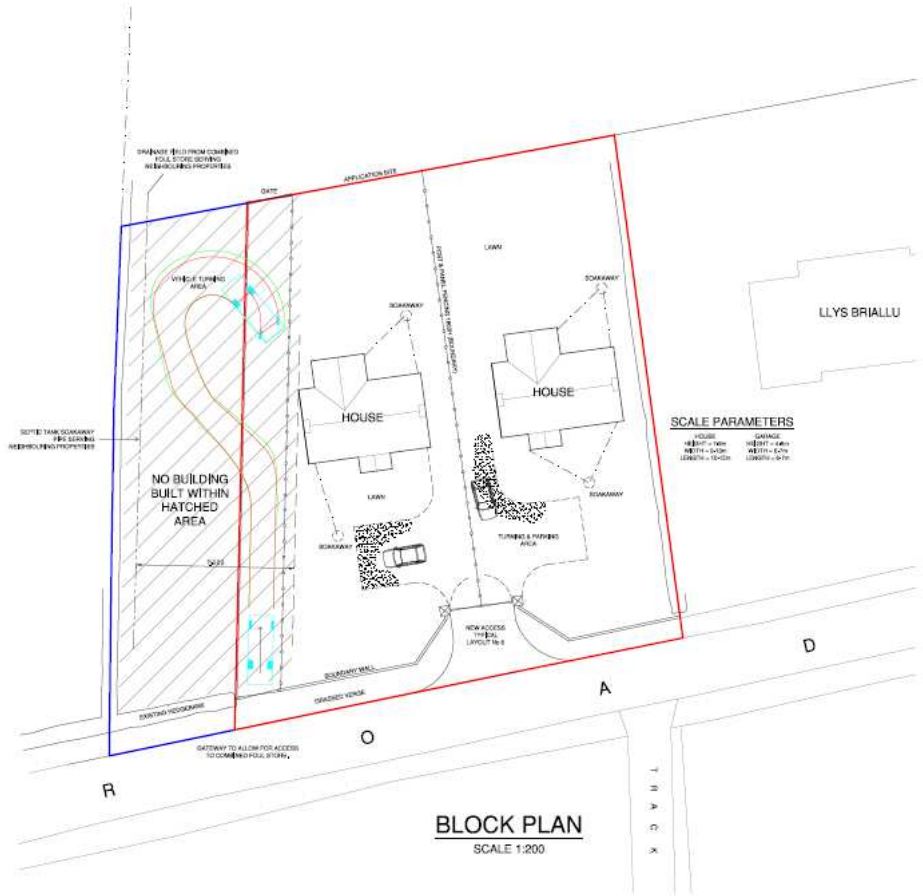
W/37267



W/37267

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ORIGINAL DRAWING A1



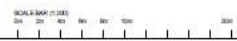
Rev	Comments	Date
A	General Update	09.06.17
B	Reduce Application size	20.04.18
C	General Update	20.06.18

Drawing Recorded
 Project Designer: **TO BE ADVISED**
 Status: **CULTURE PLANNING APPLICATION**
 Client: **MR D THOMAS**

HARRIES
 PLANNING DESIGN MANAGEMENT
 Harries, Eglwysvale, Nantreholwille, SA43 3UP, Wales.
 T: 01239 881 499 F: 01239 881 453 E: wfh@hdm.org.uk

Project: **Proposed Works On Land Adjacent to, Llys Briallu, Pontcowin, Bancyfein, Carmarthenshire, SA33 53A**

Drawing Title			
BLOCK & LOCATION PLAN AS PROPOSED			
Scale	Drawn By	Checked By	Date
---	EBW	WTH	10.03.2017
Job No:	Drawing No:	Rev:	
1589	01	C	



W/37267



Tudalen 33

Tudalen 34

W/37267



W/37267



Tudalen 35

Tudalen 36

W/37267



*Ardal Del/
Area South*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 19 CHWEFROR 2019
ON 19 FEBRUARY 2019**

***I'W BENDERFYNU/
FOR DECISION***

**ATODIAD
ADDENDUM**



ADDENDUM – Area South

<i>Application Number</i>	S/37075
<i>Proposal & Location</i>	DEMOLITION OF THE EXISTING SCHOOL BUILDING AND THE REDEVELOPMENT OF THE SITE FOR A NEW SCHOOL, CAR PARK, SPORTS PITCH, MUGA AND ASSOCIATED INFRASTRUCTURE WORKS AT PEMBREY CP SCHOOL, ASHBURNHAM ROAD, PEMBREY, LLANELLI, SA16 0TP

DETAILS:

CONSULTATIONS

Local Member – County Councillor S Matthews has verbally confirmed her support for the proposed development.

Ecology Update

A financial contribution of £3,115 has been agreed between the Millennium Coastal Park management staff and the Authority's Education Division towards the future management of the reptile translocation area. This contribution has been paid upfront.

ADDENDUM – Area South

<i>Application Number</i>	S/38235
<i>Proposal & Location</i>	PROPOSED CONSTRUCTION OF RESIDENTIAL DEVELOPMENT COMPRISING 32 UNITS WITH ASSOCIATED ACCESS, PARKING, LANDSCAPING & INFRASTRUCTURE WORKS AT LAND AT, GLANMOR TERRACE, BURRY PORT, SA16 0NE

DETAILS:

CONSULTATIONS

Head of Highways and Transport – A meeting has been held between the applicant/agent and the Authority's Highways division. At the meeting the following points were discussed and agreed:-

- Applicants to undertake a Stage 1 Road Safety Audit;
- Revised detailed highway layout to be submitted which shows pedestrian facilities delineated and introduction of measures to reduce down speed on straight sections within the site;
- Car park maintenance confirmed as being CCC Housing;
- Calculation of commuted sum for on-highway works for alteration of vertical measures on Glanmor Terrace;
- Grampian condition in relation to pavement width improvement for Active Travel Links.

The applicant has undertaken the Stage 1 Road Safety Audit and has amended the highway layout drawing showing pedestrian facilities within the site and introducing measures to reduce down speed on straight sections within the site.

These have been sent on to Highways for comment. Despite not receiving a formal response to date, it is understood that the amended design is acceptable to Highways.

A drawing for offsite highway works required to facilitate the development has been drawn up and costed at circa £37,000. The applicant has agreed to this financial contribution.

Land Drainage – No objection. Given the potential for pollutants to be mobilised at the site, agree that infiltration systems are not appropriate for this particular development site.

Copies of the Micro Drainage input and output data for the drainage system design together with flood event runs and attenuation requirement calculations are required in order to assess the detailed surface water drainage design. In this respect it is recommended that the following condition is imposed on any planning permission granted:-

“No development shall commence until full details of a scheme for the disposal of surface water has been submitted to and agreed in writing by the local planning authority. This should include micro drainage input and output data for the drainage system design together with flood event runs and attenuation requirement calculations. The scheme shall be implemented in accordance with the approved details prior to the beneficial use of the development and retained in perpetuity”



***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

19 CHWEFROR 2019

19 FEBRUARY 2019

RHANBARTH Y DE

AREA SOUTH

***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



S/37075

S/37075



S/37075



Tudalen 45

S/37075



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All dimensions between drawings and the finished site works are to be verified and completed with Carmarthenshire County Council before implementation.

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Drawings are to be used in accordance with the latest editions, or revisions, of all other relevant drawings and regulations.

Where any contradictions or uncertainties arise between the drawings and / or the schedule of works, it is the user's responsibility to refer to the Planning Department, Carmarthenshire County Council before proceeding. No claims will be made by Carmarthenshire County Council when the user proceeds with work in reliance of such contradictions.

NOT FOR SITE PURPOSES
 This drawing is a general arrangement plan only, and is not intended for site purposes.



PLANNING

Project Name	100023377
Client	Carmarthenshire County Council
Project Location	Tudalen 46, Carmarthenshire
Project Description	Proposed New School
Project Status	Planning Application
Project Date	11/03/2018
Project Reference	100023377
Project Contact	A. Tidy
Project Address	100023377
Project Phone	01267 821111
Project Email	planning@cccr.gov.uk
Project Website	www.carmarthenshire.gov.uk
Project Logo	

Location Plan
 1 : 1250

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S/37075



View of Existing Neighbouring Library Playgroup & Heol y Lloetrach Junction



View of Existing School Entrance & Car Parking



View of Ashburnham Road Looking West (No Neighbouring Properties)



View of Entrance to Existing Playing Field Looking West



Existing Site Plan

1 : 500

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PLANNING		
Form No:	Standard Form	
Issue No:	1	
Date:	10/03/2018	
Project Name:	Proposed New School	PLAN NUMBER: 100023377 CARMARTHENSIRE COUNTY COUNCIL PLANNING DEPARTMENT 10, WELLS ROAD, LLEWELLYN SA11 1DD 01691 585100 01691 585101 01691 585102
Site No:	MP 230.25	
Scale:	1:500	CARMARTHENSIRE COUNTY COUNCIL Education & Children Department 10, WELLS ROAD, LLEWELLYN SA11 1DD 01691 585100 01691 585101 01691 585102
Author:	A. Tidy	
Proposed New School Planning School Ashburnham Road Haddington Carmarthenshire SA11 0TP		Gwladys Eiddo City of Sir Gâr Carmarthenshire Property Services



View of Existing Playing Field Looking Towards Train Track (South)

S/37075



Existing Site Plan
1 : 500

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Any discrepancies between drawings and the finished site works are to be notified and agreed with Carmarthenshire County Council before implementation.

READ ALL DRAWINGS AS ONE
Drawings shall be read in relation to each other. All dimensions are stated in all views. If conflict, always refer to the attached Carmarthenshire County Council permit requirements for the project.

Drawings are to be read in conjunction with the plans, notices, or notices of all other relevant plans and notices.

Where any contradiction or inconsistency arises between the specifications or the schedule of works, it is the contractor's responsibility to seek resolution from Carmarthenshire County Council before commencing. No claims will be held for Carmarthenshire County Council where the contractor continues work in absence of such confirmation.

NOT FOR SITE PURPOSES
This drawing is prepared for general information only, and is not intended for site purposes.

- Site Boundary
- Buildings in Council Ownership
- Proposed for Demolition
- Proposed for relocation

PLANNING

Date: _____ Checked By: _____ Date: _____ Planning Issue: _____ Drawn By: _____ Proposed Description: _____ Date: _____ Scale: _____ Date: March 2018 A3 Title: _____ MP 230.25	PLAN NUMBER: S/37075 CARMARTHENS COUNTY COUNCIL EDUCATION & CHILDREN'S SERVICES 100, ASHURNHAM ROAD CARMARTHENS, SA31 1UG TEL: 01493 345000 FAX: 01493 345001 WWW.CARMARTHENS.CO.UK
---	--

Gwynanethau Eiddo
 Sir Gâr
 Carmarthenshire
 Property Services
 County Council

S/37075



- 1000x1500mm height Bow Top Fencing
- Retain Existing Rail Track Fencing
- 2400mm height Wiremesh Fencing
- Timber Close board Fencing

Boundary Treatments are Indicative.
Subject to consultation with Secure By Design requirements
and neighbouring property consultation.



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Example of Wiremesh Fencing



Example of Timber Close Board Fencing



Example of Top Bow Fencing

CONSENT:
CARMARTHENS COUNTY COUNCIL & BOARD COMMITTEE OF THE BOROUGH.
This drawing is submitted for public consultation in accordance with the
wishes of the Council of Carmarthens County Council.

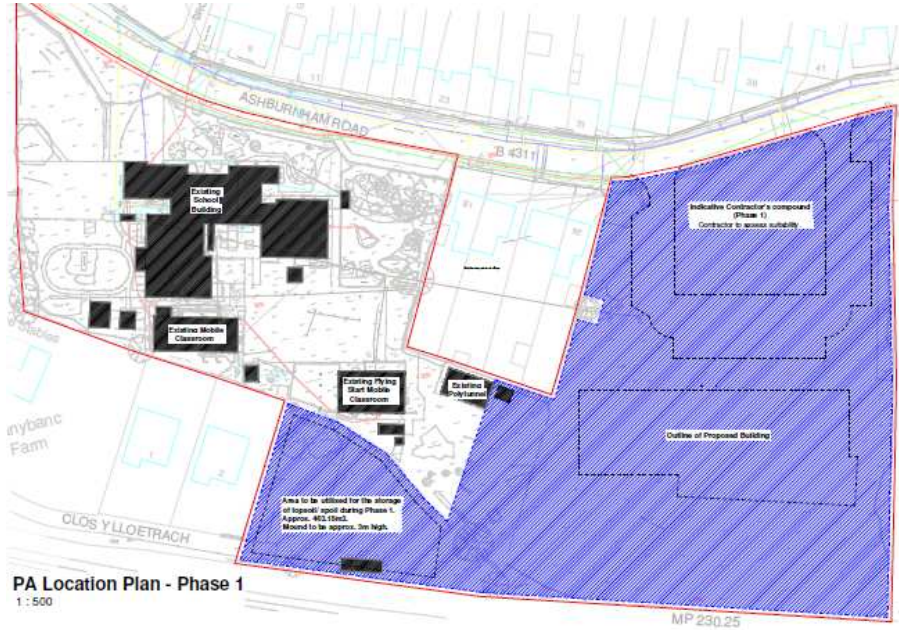
CONSENT TO BE OBTAINED:
It is the consent of the Council of Carmarthens County Council to the plan as presented.
It is the consent of the Council of Carmarthens County Council to the plan as presented.
It is the consent of the Council of Carmarthens County Council to the plan as presented.
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of a planning application.

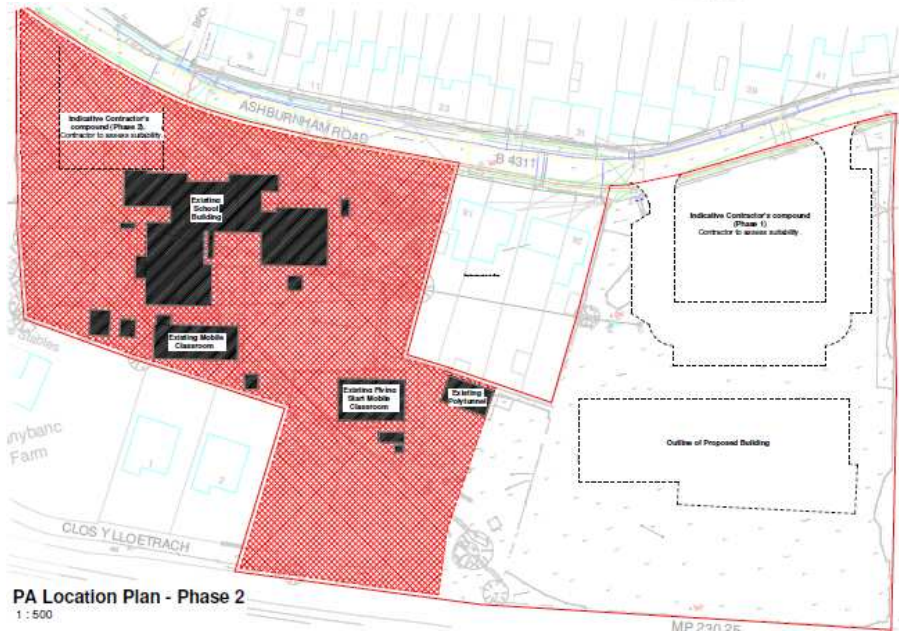
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PLANNING	Boundary Treatment																		
<table border="1"> <tr> <th>PROJ. NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	PROJ. NO.	DATE	DESCRIPTION							<table border="1"> <tr> <th>PROJ. NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	PROJ. NO.	DATE	DESCRIPTION						
PROJ. NO.	DATE	DESCRIPTION																	
PROJ. NO.	DATE	DESCRIPTION																	
<p>Client: Carmarthens County Council Project: Proposed New School Address: Ashburnham Road Carmarthens, Carmarthenshire SA31 0TP</p>																			
<p>Author: Sir Gâr Carmarthens County Council Property Services</p>																			

S/37075



PA Location Plan - Phase 1
1 : 500



PA Location Plan - Phase 2
1 : 500

Phase 1

1. Contractor to erect temporary fencing, (Herras and solid hoarding), in order to secure the site.
2. To include the protection of any trees and areas of shrubbery as indicated.
3. Removal of existing play equipment.
4. Removal of any hard and soft landscaped areas as indicated on Demolition plan.
5. Any topsoil/ spoil to be banded and stored on site for reuse within the development. (*Indicative location shown on adjacent plan.*)
6. Formation of proposed 'Pick Up/ Drop Off' carpark and all associated highways works in order to provide site access for the duration of the construction phase.
7. Contractor to erect suitable fencing and install site compound including all necessary welfare facilities.
8. Construction of proposed new school building, including any hard and soft landscaping within the 'Phase 1' area of the site.
9. Final formation of Drop Off carpark and the formation and marking of staff car park.
10. Erection of proposed perimeter security fencing to new school site.
11. Contractor is to remove relevant site setup and prepare the new site for occupation.

Phase 2

1. Contractor to erect temporary fencing, (Herras and solid hoarding), in order to secure the site.
2. To include the protection of any trees and areas of shrubbery as indicated.
3. Contractor to erect suitable fencing and install site compound including all necessary welfare facilities.
4. *It is envisaged that the existing entrance and car park can be utilised for this purpose.*
5. Removal of existing play equipment and planters etc.
6. Relocation of 2no. Mobile Classrooms - location TBC.
7. Demolition of existing school and all ancillary buildings.
8. Removal of any hard and soft landscaped areas as indicated on Demolition plan.
9. Excavation, removal and disposal of any redundant service ducts/ pipework.
10. Grading and preparation of levels in readiness for proposed surface finishes.
11. Erection of remaining proposed perimeter security fencing to new site.
12. Contractor is to remove relevant site setup and prepare the new site for occupation.

N.B: All phasing shown on this drawing is *indicative only* and subject to the appointed contractor producing an in depth 'Construction Management Plan'

EQUIPMENT
Contractor responsible for all equipment used on this site. This drawing does not show any equipment to be used on site without the written permission of Carmarthenshire County Council.

DO NOT SCALE THIS DRAWING
It is the contractor's responsibility to verify all dimensions on site prior to commencing with the work. All scaled notes dimensions are to be verified on site before work commences. All dimensions shown on drawings shall conform with the written dimensions and dimensions shown elsewhere shall conform with the written dimensions.

Any discrepancies between drawings and the fieldwork site works are to be notified and corrected with Carmarthenshire County Council before implementation.

READ ALL DRAWINGS AND ALL
Drawings shall be read in conjunction with all drawings and all drawings shall be read in conjunction with all drawings. It is the contractor's responsibility to verify all dimensions on site prior to commencing with the work. All scaled notes dimensions are to be verified on site before work commences. All dimensions shown on drawings shall conform with the written dimensions and dimensions shown elsewhere shall conform with the written dimensions.

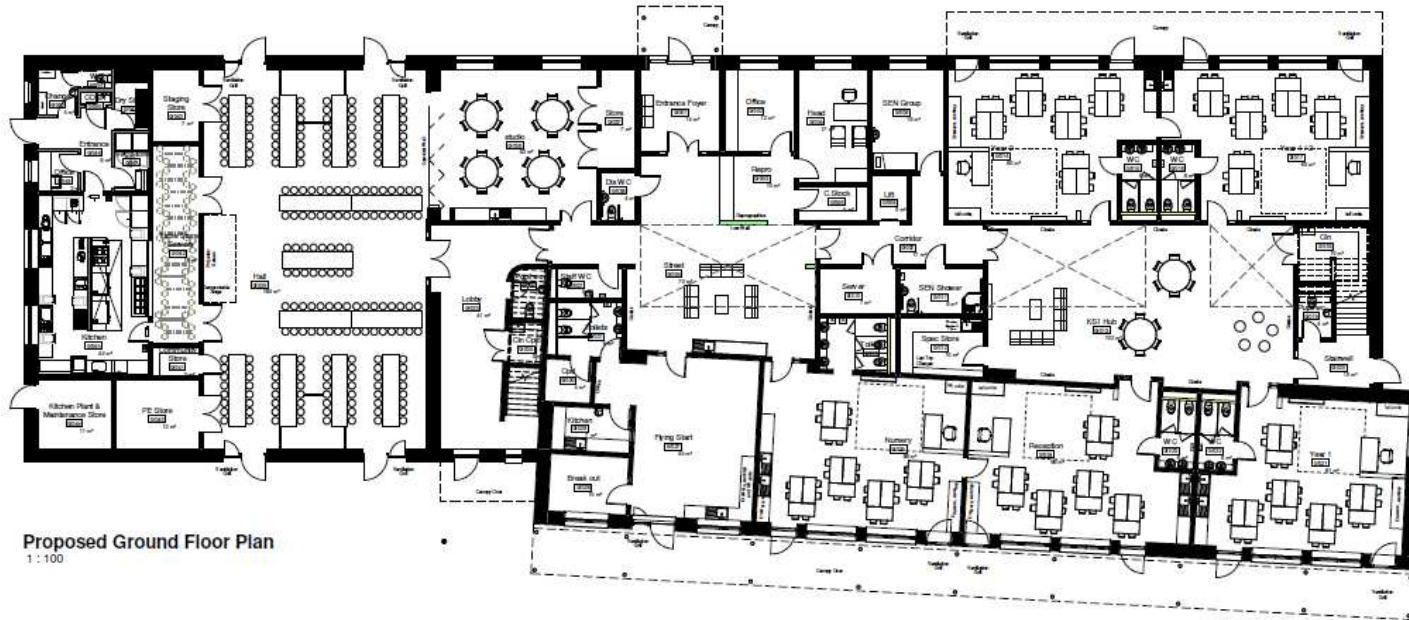
Drawings are to be read in conjunction with the latest editions, or revisions, of all other relevant plans and schedules.

Where any contradiction or conflict arises between the drawings and for the avoidance of doubt, it is the contractor's responsibility to verify all dimensions on site prior to commencing with the work. All scaled notes dimensions are to be verified on site before work commences. All dimensions shown on drawings shall conform with the written dimensions and dimensions shown elsewhere shall conform with the written dimensions.

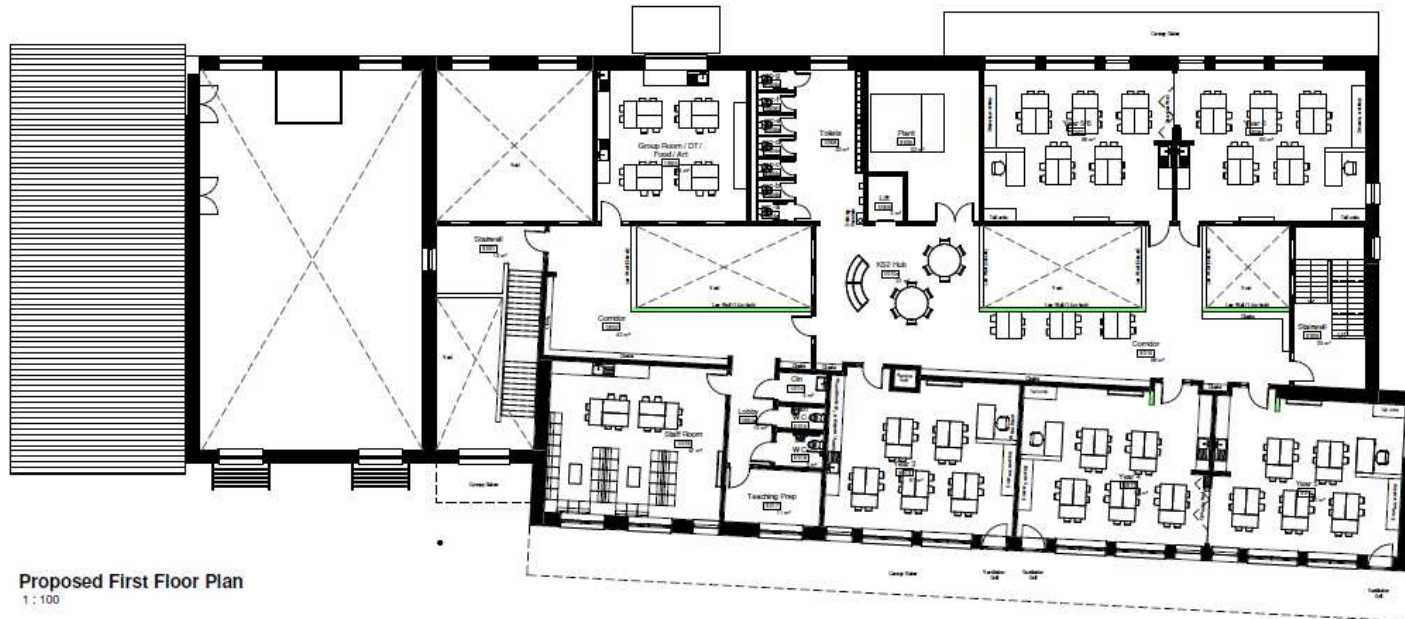
NOT FOR SITE SIGNAGE
This drawing is a general management plan only, and is not intended for site signage.

PLANNING		
<p>1000 0000 0000 0000 0000 0000 0000 0000 0000</p>		
Phase:	Submission Date:	Site:
Planning Issue:	Case No:	Proposed Drawing Plan:
T. Lewis		1000 0000 0000 0000 0000 0000 0000 0000 0000
March 2018	1:500	1000 0000 0000 0000 0000 0000 0000 0000 0000
R. Tidy		1000 0000 0000 0000 0000 0000 0000 0000 0000
<p>Carmarthenshire County Council Education & Children Department</p>		
<p>Proposed New School Ashburnham Road Carmarthenshire SA31 1YD</p>		
<p>Gwasarthau Eiddo</p> <p>Property Services</p>		

S/37075



Proposed Ground Floor Plan
1:100



Proposed First Floor Plan
1:100

Tudalen 53

DISCLAIMER
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DO NOT SCALE THIS DRAWING.
It is the contractor's responsibility to verify all dimensions on site when complying with the works. All fixed work dimensions are to be worked to unless otherwise specified. Small dimensions, unless specified, shall always be to the center of an element and therefore due allowance should be made for joints, fixings, etc.

Any discrepancies between drawings and the finished site works are to be rectified and corrected with Carmarthenshire County Council before commencement.

READ ALL DRAWINGS AS ONE
Check across the different sections or sections of ALL drawings are used at all times. If it is not clear what the intended Carmarthenshire County Council action is, please refer to the project manager for clarification.

Drawings are to be read in conjunction with the latest sections, or revisions, of all other relevant drawings and sections.

It is the contractor's responsibility to coordinate with the architect and / or the architect's agents, if the contractor's responsibility is not set out in the contract documents. Carmarthenshire County Council retains the right to instruct the contractor to stop work in order to protect the safety of the public.

NOT FOR SITE PURPOSES
This drawing is a general engineering plan only, and is not intended for site purposes.

PLANNING

Project Details

Project Name: Tudalen 53
 Planning Issue: Proposed Floor Plans
 Town: SDC
 Date: March 2018
 Scale: 1:100
 Author: A. Tidy

Client

Carmarthenshire County Council
 Education & Children Department

Proposed New School

Tudalen 53
 Aledaun Road
 Carmarthen
 Carmarthenshire
 SA31 0TT

Architect

M. HARRIS & CO.
 10001 21st Street
 10001 Project Road & Project
 Road

Architect's Contact

M. HARRIS & CO.
 10001 21st Street
 10001 Project Road & Project
 Road
 Carmarthen, Carmarthenshire
 SA31 0TT
 Tel: 01292 303000

Gwionethau Ffido


Carmarthenshire
 County Council
 Property Services

S/37075



North Elevation
1 : 100



East Elevation
1 : 100



West Elevation
1 : 100



South Elevation
1 : 100

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DO NOT SCALE THIS DRAWING
It is the contractor's responsibility to verify all dimensions on site when in connection with the work. All structural dimensions must be checked and where necessary, all structural dimensions must be checked and where necessary, all structural dimensions must be checked and where necessary, all structural dimensions must be checked.

READ ALL DRAWINGS AS ONE
Drawings should be read in the order indicated on the drawings. If all drawings are read at all times, it is the contractor's responsibility to ensure that the drawings are read in the order indicated on the drawings.

NOT FOR SITE PURPOSES
This drawing is a general arrangement plan only and is not intended to be used on site.

PLANNING

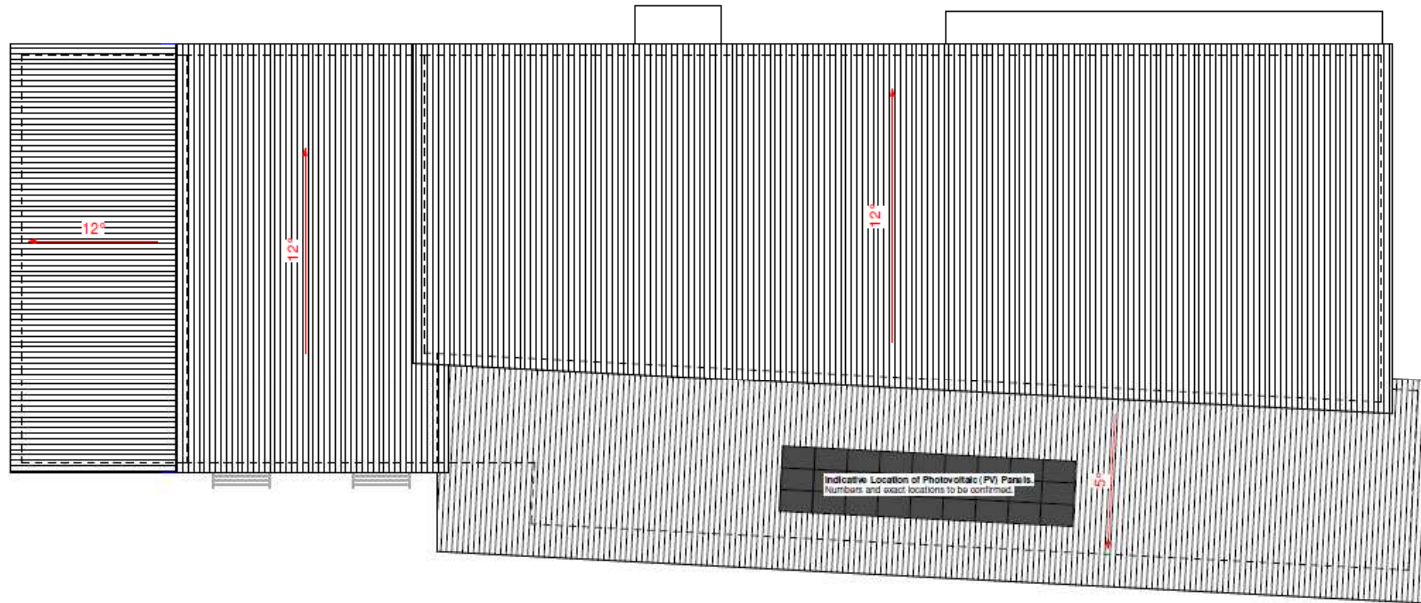
Planning Issue	Proposed Elevations
Date: 2023	Scale: 1:100
Author: A. Tidy	Checked: []

Carmarthenshire County Council
(Education & Children Department)

14 HERETA, WALES
CARMARTHEN, SA31 2HQ

Gwaraenarthau Eiddo
Carmarthen
Sir Gâr
Carmarthenshire
County Council
Property Services

S/37075



Proposed Roof Plan
1:100

Tudalen 55

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DO NOT SCALE THIS DRAWING.
It is the contractor's responsibility to verify all dimensions on site prior to commencing with the works. All scaled metrics dimensions are to be worked to whatever accuracy is required. Final dimensions unless otherwise noted otherwise, are to be given as indicated and therefore any alterations should be made by planter, brickwork, etc.

Any discrepancies between drawings and the installed site works are to be verified and corrected with Carmarthenshire County Council before implementation.

READ ALL DRAWINGS AS ONE
Please ensure that the latest editions, or revisions, of ALL drawings are used at all times. If conflicts arise, contact the allocated Carmarthenshire County Council person responsible for the project.

Drawings are to be read in conjunction with the latest editions, or revisions, of all other drawings, details and schedules.

Please also coordinate or consult with other drawings between the drawings and / or the schedule of work. It is the contractor's responsibility to seek verification from Carmarthenshire County Council before construction. No claims will be made by Carmarthenshire County Council where the contractor undertakes work in absence of such coordination.

NOT FOR SITE PURPOSES
This drawing is a general arrangement plan only, and is not intended for site purposes.

PLANNING

Issue / Planning Issue	Submitted Date	Date	
Issue No. Proposed Roof Plan			
Issue No. SIDE			
Issue No. March 2010	Issue No. 1:100	Issue No. 1:100	Issue No. 1:100
Issue No. A. Tidy			

By: Carmarthenshire County Council
Clerks and Customer Services

For: Proposed New School
Bunrhydd School
Aberthaw Road
Bunrhydd
Carmarthenshire
SA10 8TP

**14 HERBIS WAY, L.L.C.A.,
HERBIS, BUNRHYDD, CARMARTHENS,
SA10 8TP**

**01497 824100
01497 824101
01497 824102**

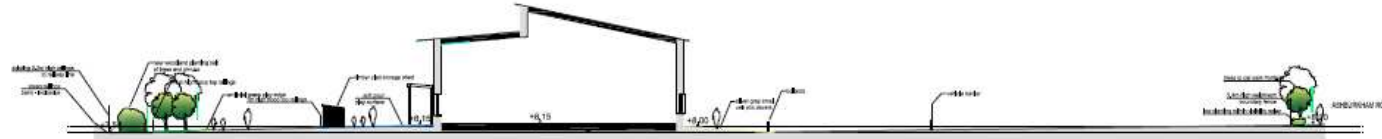
**0800 0 160 160 (NATIONAL FREEMOVE)
01497 824100
01497 824101
01497 824102**

Gwasanaethau Eiddo

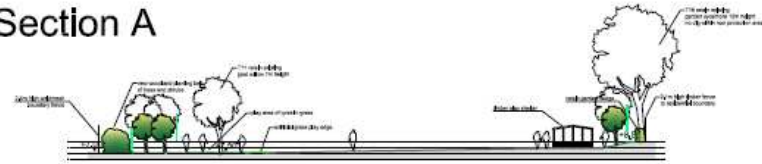
Carmarthenshire
County Council

Property Services

S/37075



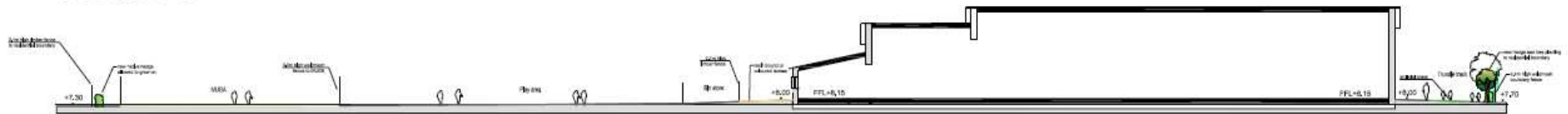
Section A



Section B



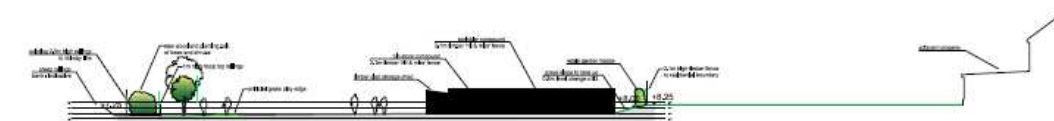
Section C



Section D



Section E



Section F

Rev A Dec 2018 building PFL changed sections A to F moved to one side
 Trees shown at 10m when planted and after 10 years
 Refer to Mackley Davies Landscape Plan 171610/01 for section locations
 All dimensions must be checked on site and not scaled from this drawing
 This drawing is for the purposes of PLANNING
 Based on Ordnance Survey data as supplied
 OS Licence 100043366

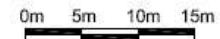
MACKLEY DAVIES ASSOCIATES LTD
 Flynnes or Elm, Golekwood Road, Gowers
 Aberystwyth, NP23 5DH, 01975 831796,
 info@mackleydaves.co.uk

TITLE
 Pembrey School

CLIENT
 Carmarthenshire County Council

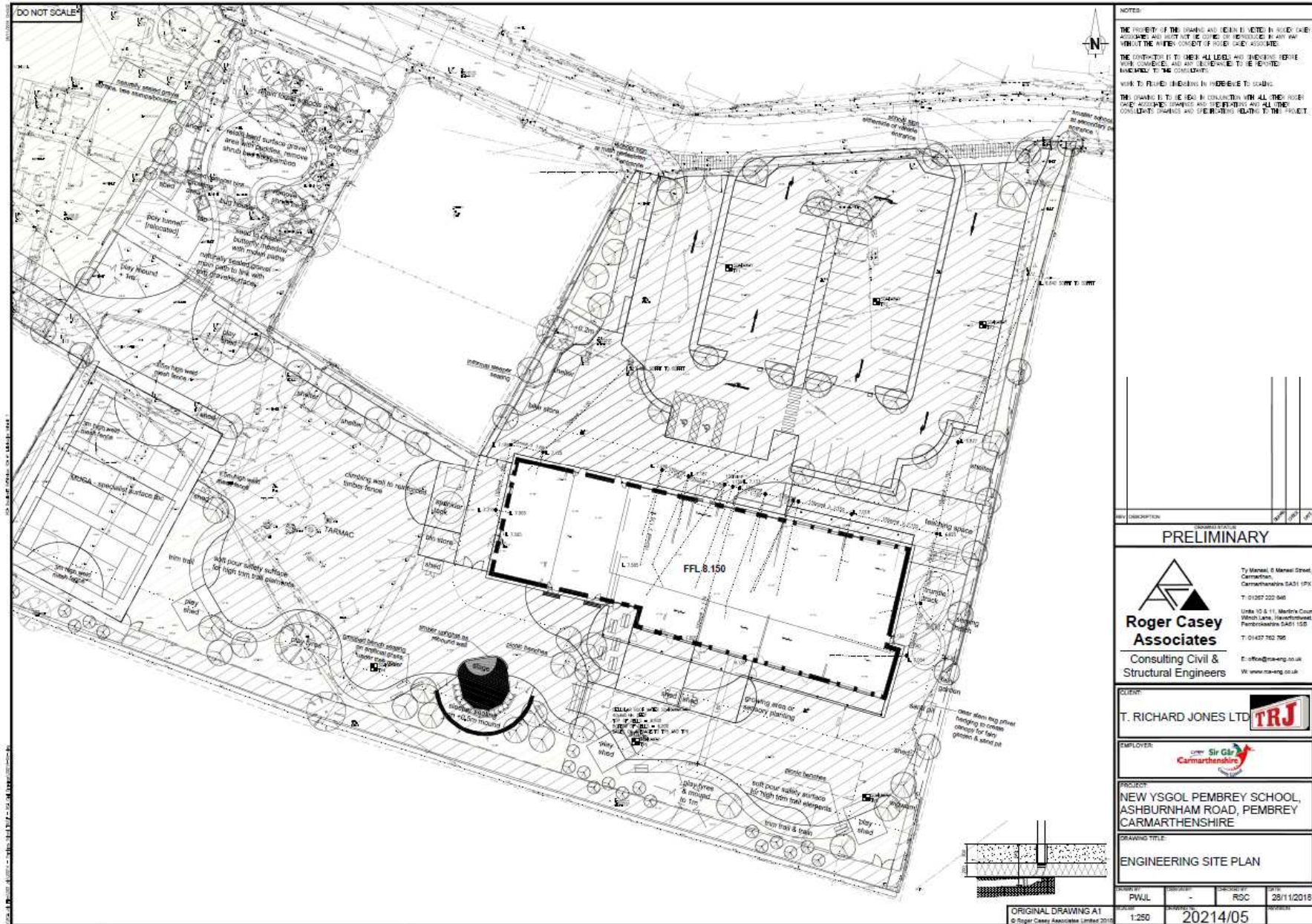
SECTIONS

SCALE	1:2000(A)	JOB NO.	171610/05
DATE	March 2018	REVISION	Rev A



S/37075

Tudalen 57



PRELIMINARY

Roger Casey Associates
Consulting Civil & Structural Engineers

Ty Manaf, 6 Manaf Street, Carmarthen, Carmarthenshire SA31 1PX
T: 01287 222 848
Units 10 & 11, Medrys Court, Whitch Lane, Haverfordwest, Pembrokeshire SA61 1SS
T: 01437 762 795
E: office@rcawg.co.uk
W: www.rcawg.co.uk

CLIENT:
T. RICHARD JONES LTD **TRJ**

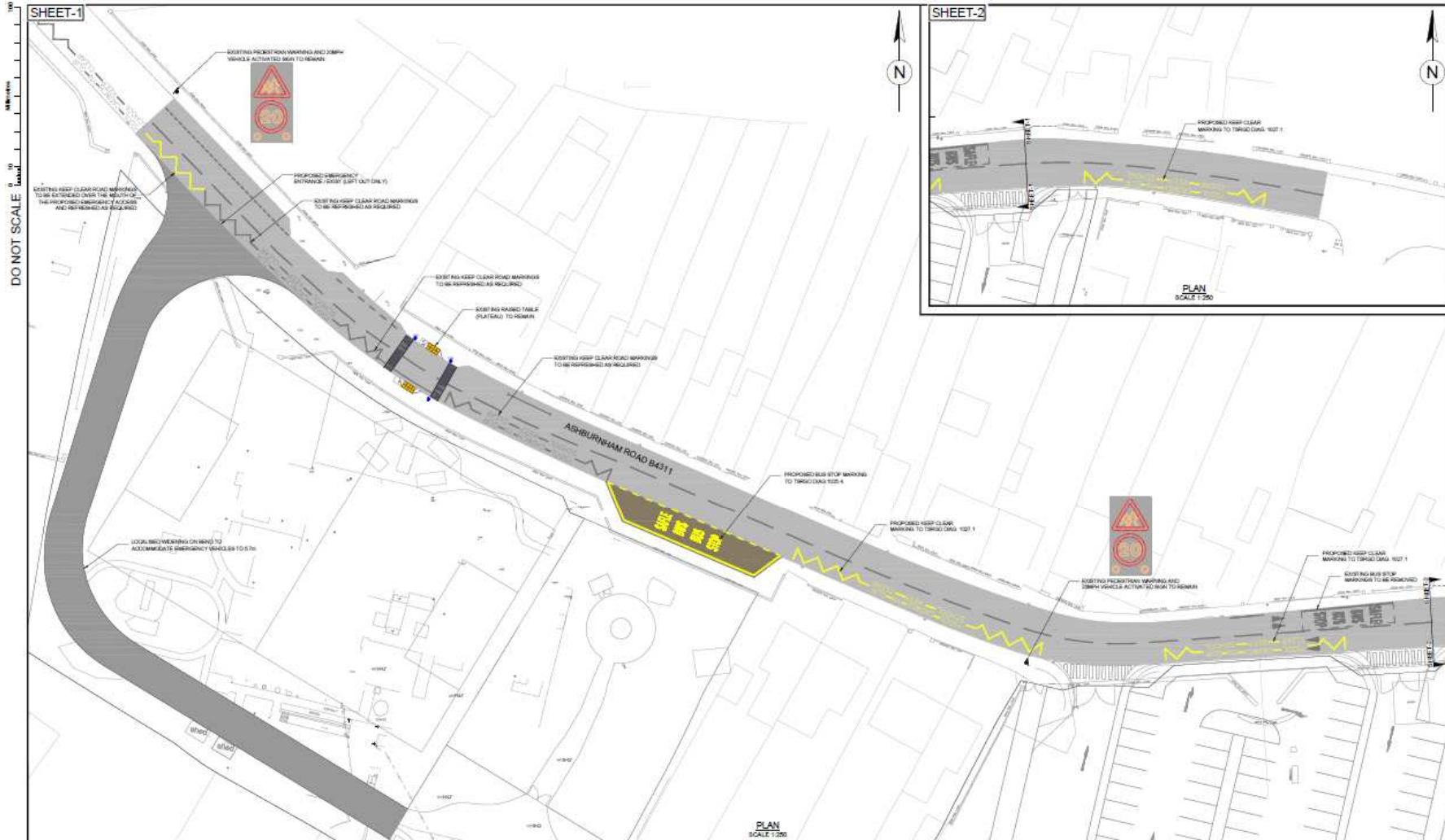
EMPLOYER:
Sir Glyn
Carmarthenshire

PROJECT:
NEW YSGOL PEMBREY SCHOOL,
ASHBURNHAM ROAD, PEMBREY
CARMARTHENSHIRE

DRAWING TITLE:
ENGINEERING SITE PLAN

DESIGNER:	DATE:	REVISION:	DATE:
PWJL	-	RCC	29/11/2015
SCALE:	DATE:	DATE:	DATE:
1:250	20214/05		

S/37075



- GENERAL NOTES:**
1. ALL DIMENSIONS ARE IN METERS UNLESS NOTED OTHERWISE.
 2. ONLY WRITTEN DIMENSIONS SHALL BE USED, DO NOT SCALE.
 3. TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DRAWINGS.
 4. LOCATION OF ALL SIGNS AND ROAD MARKINGS TO BE IN ACCORDANCE WITH TSDRO 2016. EXACT LOCATION TO BE AGREED ON SITE WITH ENGINEER.
 5. THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL OTHER SCHEME DRAWINGS.
 6. ALL NECESSARY STEPS SHALL BE TAKEN TO PROVIDE TEMPORARY DRAINAGE OUTLETS TO PREVENT PONDING OF SURFACE WATER ON LOWER CARRIAGEWAY LAYERS UNTIL THE COMPLETION OF THE PAVEMENT AND ITS PERMANENT DRAINAGE.
 7. ALL ROAD MARKINGS AND SIGNS TO REMAIN AS EXISTING UNLESS NOTED OTHERWISE.

KEY:

	EXISTING PARKING AREA TO BE COLD MILLED 40mm WITH A 40mm SURFACE COURSE APPLIED
	PROPOSED 5m WIDE GRASSCOTE EMERGENCY ACCESS ROAD
	EXISTING CARRIAGEWAY

SAFETY, HEALTH AND ENVIRONMENTAL INFORMATION

In addition to the hazards/risks normally associated with the types of work detailed on this drawing, note the following significant residual risks (Reference shall also be made to the design 'hazard log').

Material / Activity	None	Low	Medium	High		
Material / Activity						
None						
Use						
None						
Recommending / Revision						
None						
No.	Date	Description	By	Check	Appr	Auth

WORK IN PROGRESS		Design Stage	SO	Project Title	PEMBREY CP SCHOOL
ATKINS		West Glamorgan House 12 Orchard Street Swansea West Glamorgan SA1 5AD		Drawing Title PROPOSED SITE LAYOUT	
Copyright © Atkins Limited (2016)		Tel: +44 (0) 1792 641172 Fax: +44 (0) 1792 472019 www.atkinsglobal.com		Date AS SHOWN	
CYSM Sir Gâr Carmarthenshire		Original: SW		Checked: RL	
New Contract		Date: 21/12/17		Approved: CK	
		Date: 21/12/17		Author: CM	
		Date: 21/12/17		Project Ref No.	
		Project: 2178-001 - ATK - C-		Revision	
		Location: XX-XX-M2-(S0)-002A		P02	
		Scale: 1:250		Notes	

Drawn by: gaw029 Date: May 25, 2016 - 2:40pm
Drawing file saved on: 21/12/17

S/37075



Tudalen 59

Tudalen 60

S/37075



S/37075



Tudalen 61

S/37075



S/37075



Tudalen 63

Tudalen 64

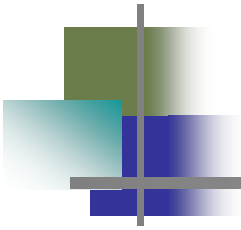
S/37075



S/37075



Tudalen 65



S/38235

S/38235



Tudalen 67

S/38235



S/38235



Tudalen 69

S/38235



This drawing has been prepared for planning purposes only. Refer to engineer's report for proposed drainage strategy and landscape architect's drawings for all hard and soft landscaping

S/38235



Tudalen 71

The drawing has been prepared for planning purposes only. Refer to engineer's report for proposed drainage strategy and landscape architect's drawings for all hard and soft landscaping.

S/38235



- Site Boundary
 - Proposed Soft Landscaping
 - Proposed Trees
 - Tree Pl. Specification Type
 - Proposed Hedge/Screen
 - Activity Grass
 - Overflow Meadow Mixture
 - Proposed Sub Paving
 - Proposed Driv. Paving
-
- Hard Materials
 - Black Paving (General Surface)
 - Kerbs
 - Road Paving
 - Slabs/ Paving Court
 - Proposed Barren
 - Proposed Fencing
 - Timber Fencing
 - Timber Fencing
 - Timber Fencing
 - Existing Deer Mesh Fence

1. Approved for planning purposes only.
 2. All dimensions are in millimetres unless otherwise stated.
 3. All materials and finishes are to be confirmed with the contractor.
 4. All planting is to be confirmed with the contractor.
 5. All paving is to be confirmed with the contractor.
 6. All fencing is to be confirmed with the contractor.
 7. All other details are to be confirmed with the contractor.

Worksheet: Tudalen 72
 Client: Gloucestershire Transport, Mary Post
 Project: Tudalen 72
 Drawing: Detailed Hard & Soft Landscaping Plan (Sheet 2 of 2)
 Date: 15/03/2023
 Author: [Name]
 Checker: [Name]
 Scale: 1:100

S/38235

Planting Schedule

Item	Quantity	Plant Name	Size	Height	Specification	Source
1	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
2	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
3	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
4	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
5	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
6	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
7	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
8	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
9	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
10	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local

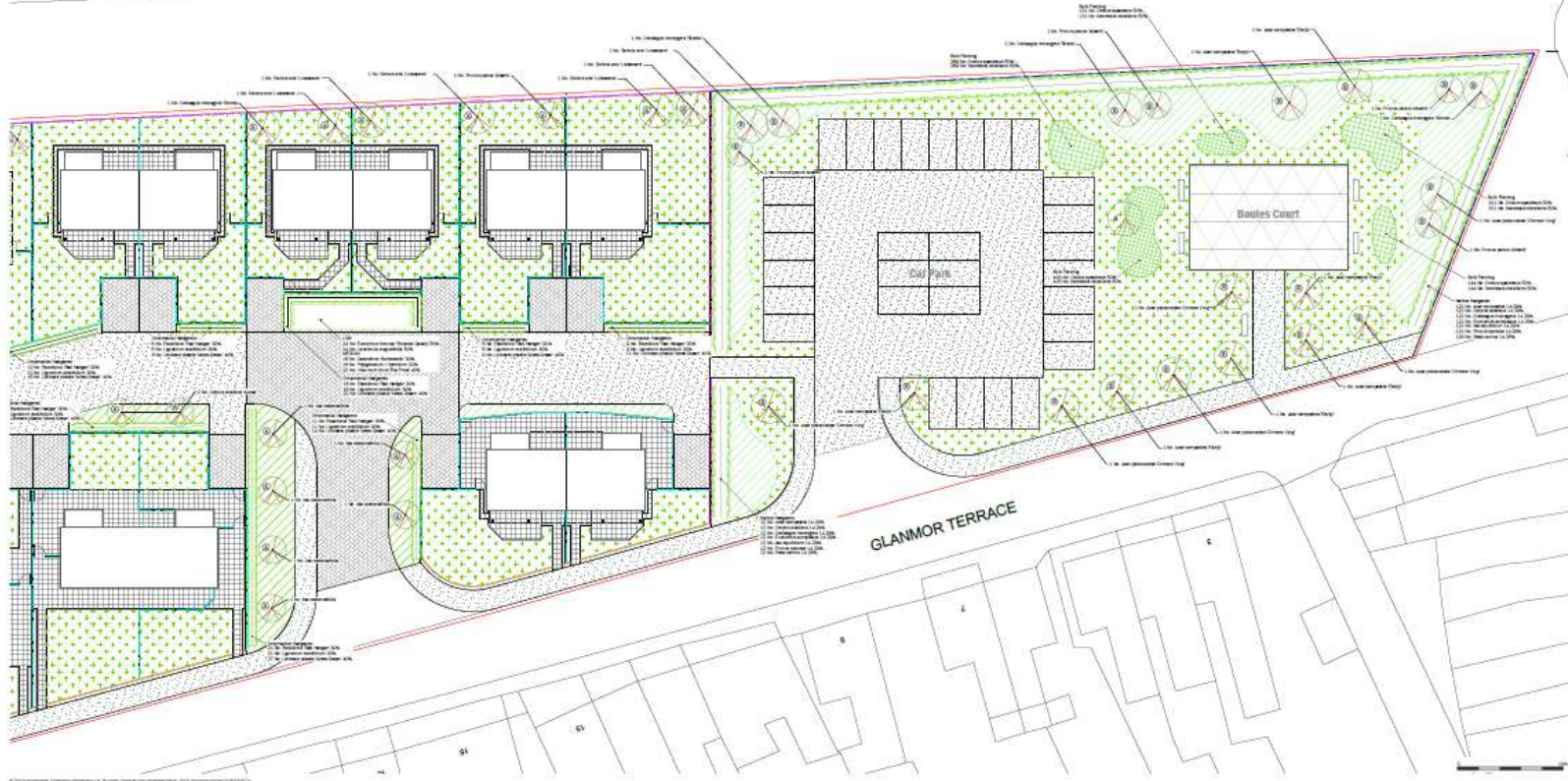
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12	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
13	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
14	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
15	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
16	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
17	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
18	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
19	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
20	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local

Item	Quantity	Plant Name	Size	Height	Specification	Source
21	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
22	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local

Item	Quantity	Plant Name	Size	Height	Specification	Source
23	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
24	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
25	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
26	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
27	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
28	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
29	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local
30	100	Plant Name	100mm	1.5m	100mm x 100mm x 1.5m	Local



- Site Boundary
 - Proposed Soft Landscaping
 - Proposed Trees
 - Tree Pit Specification Type
 - Proposed Hedge/Screen
 - Amenity Grass
 - Wildflower Meadow Mix
 - Proposed Sub-Planting
 - Proposed Street Planting
-
- Pavement
 - Black Paving (Shared Surface)
 - Turf
 - Proposed Bench
 - Timber Fencing
 - Existing Steel Mesh Fence

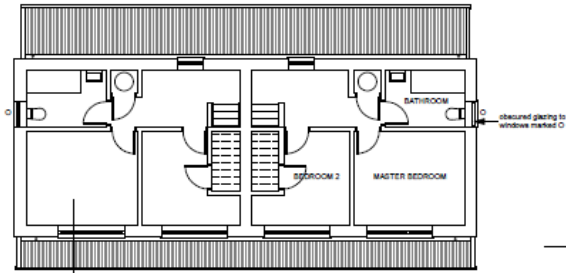
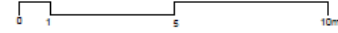


Tudalen 73

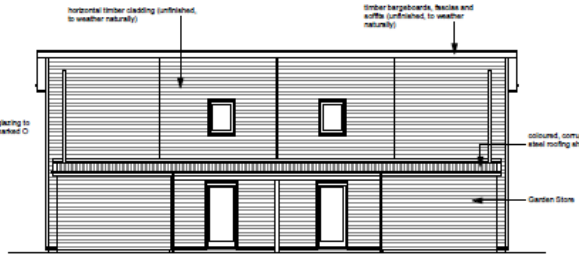
1. Introduction
 2. Site Context
 3. Design Objectives
 4. Planting Schedule
 5. Landscaping Details
 6. Implementation
 7. Conclusion

Western Water Ltd
 Glasgow Ferrous, Barry Post
 Date for Plot & Soft Landscaping Plan (Sheet 2 of 3)
 eob the environmental
 Glasgow Ferrous, Barry Post

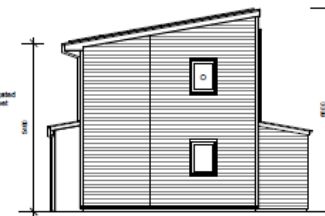
S/38235



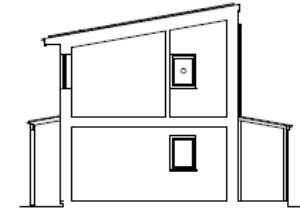
First Floor Plan



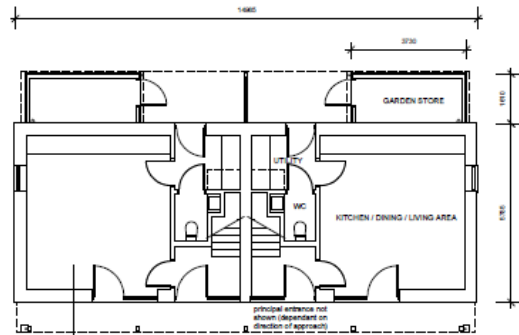
Rear (North) Elevation



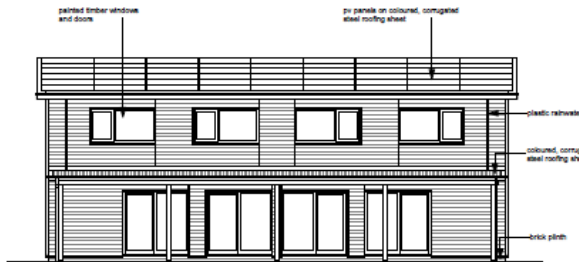
Side (East) Elevation



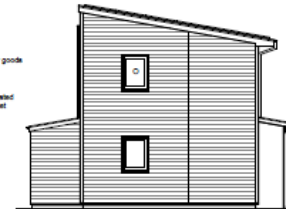
Cross Section A



Ground Floor Plan

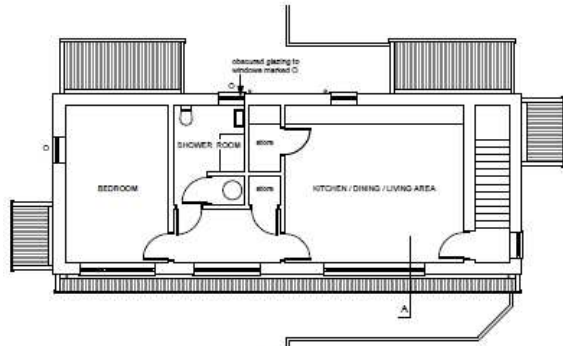
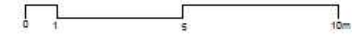


Front (South) Elevation

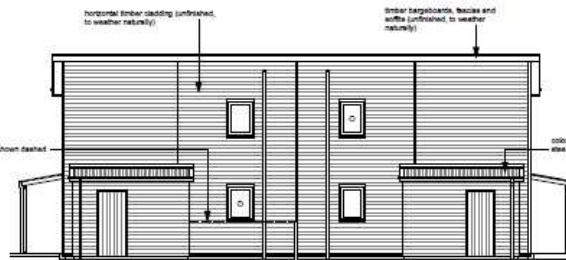


Side (West) Elevation

S/38235



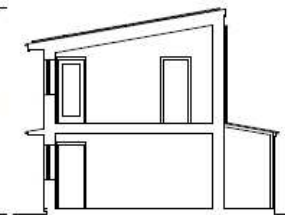
First Floor Plan



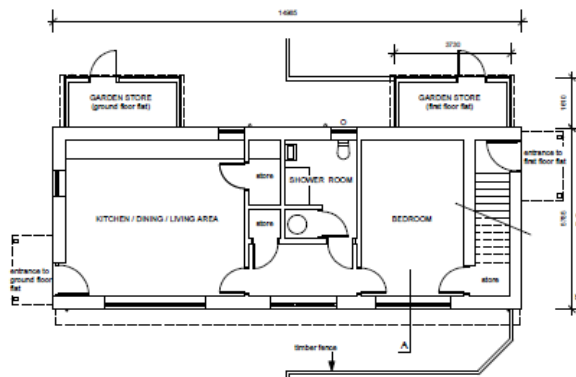
Rear (North) Elevation



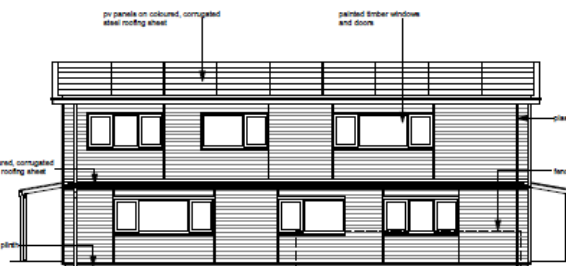
Side (East) Elevation



Cross Section A



Ground Floor Plan



Front (South) Elevation



Side (West) Elevation

Tudalen 75

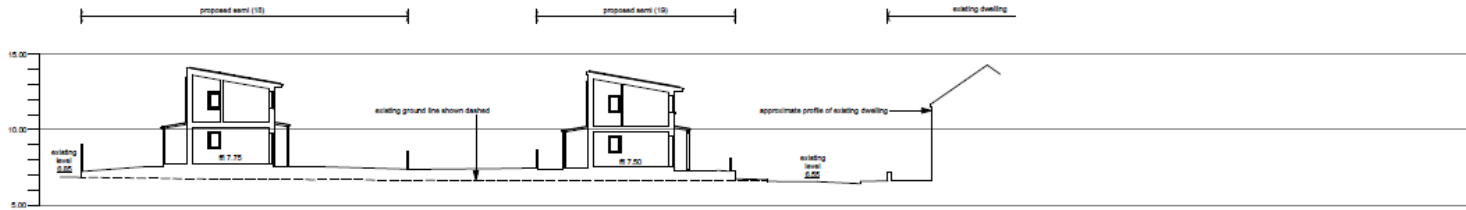
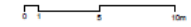
© Western Solar Limited

Ty Solar

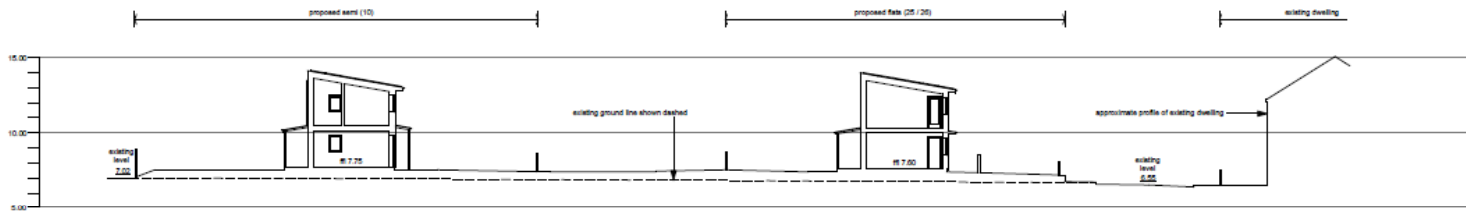
This drawing has been prepared for planning purposes only

WESTERN SOLAR Glanmor Terrace Ty Solar Flats Plans, Elevations and Section	Date 05/12/2018	Scale 1:100@A2
	Drawing number PG18	
	Ty Solar	

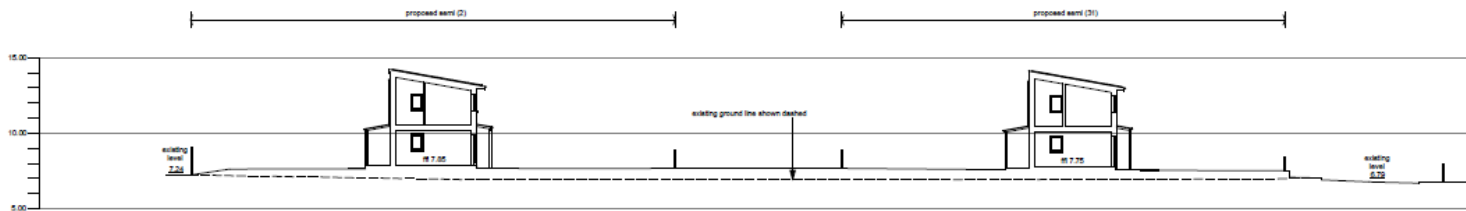
S/38235



Section C

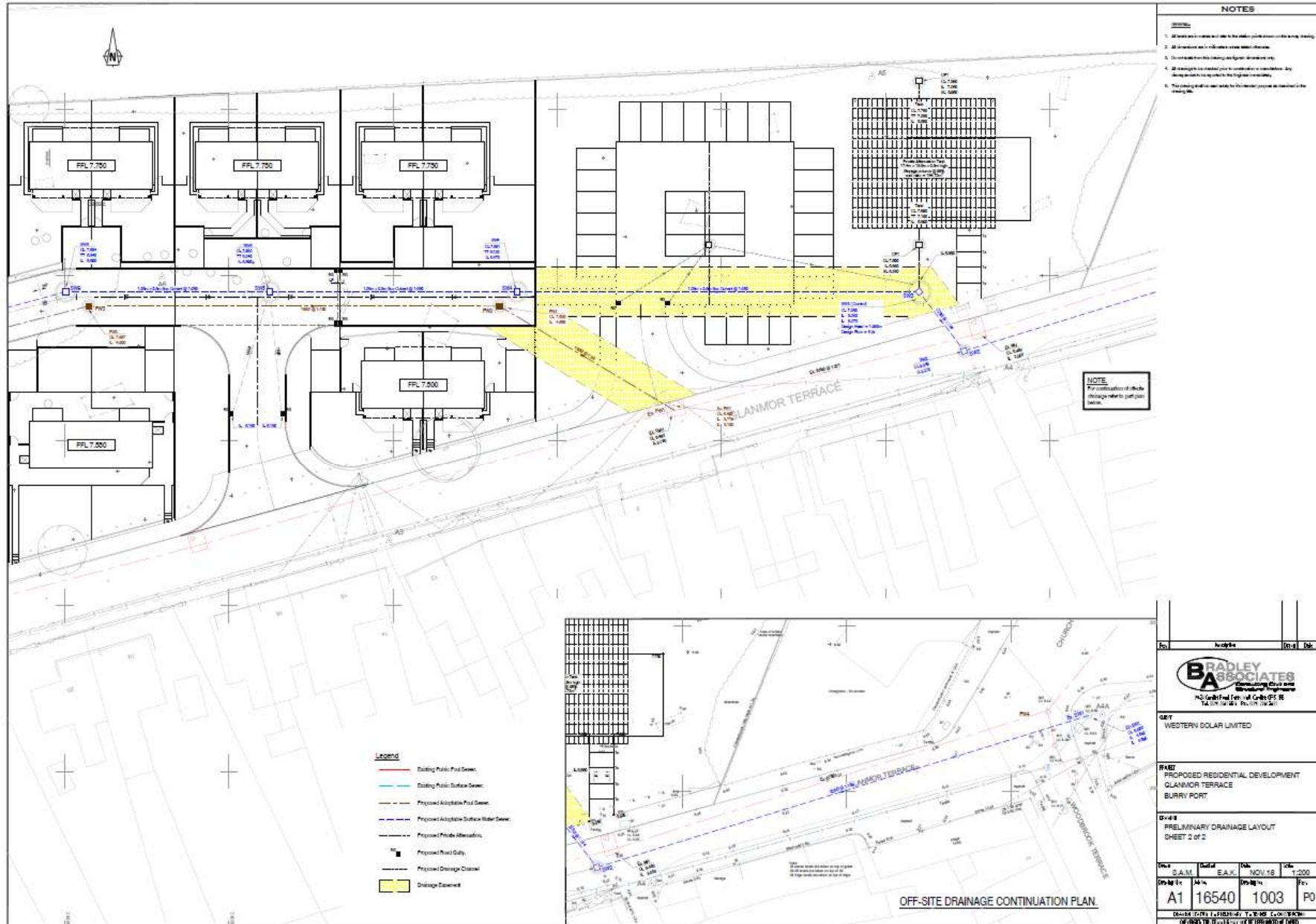


Section B



Section A

S/38235



- NOTES**
1. All proposed works are to be in accordance with the following standards:
 2. All drainage works to be in accordance with the following standards:
 3. All drainage works to be in accordance with the following standards:
 4. All drainage works to be in accordance with the following standards:
 5. The following works are to be in accordance with the following standards:

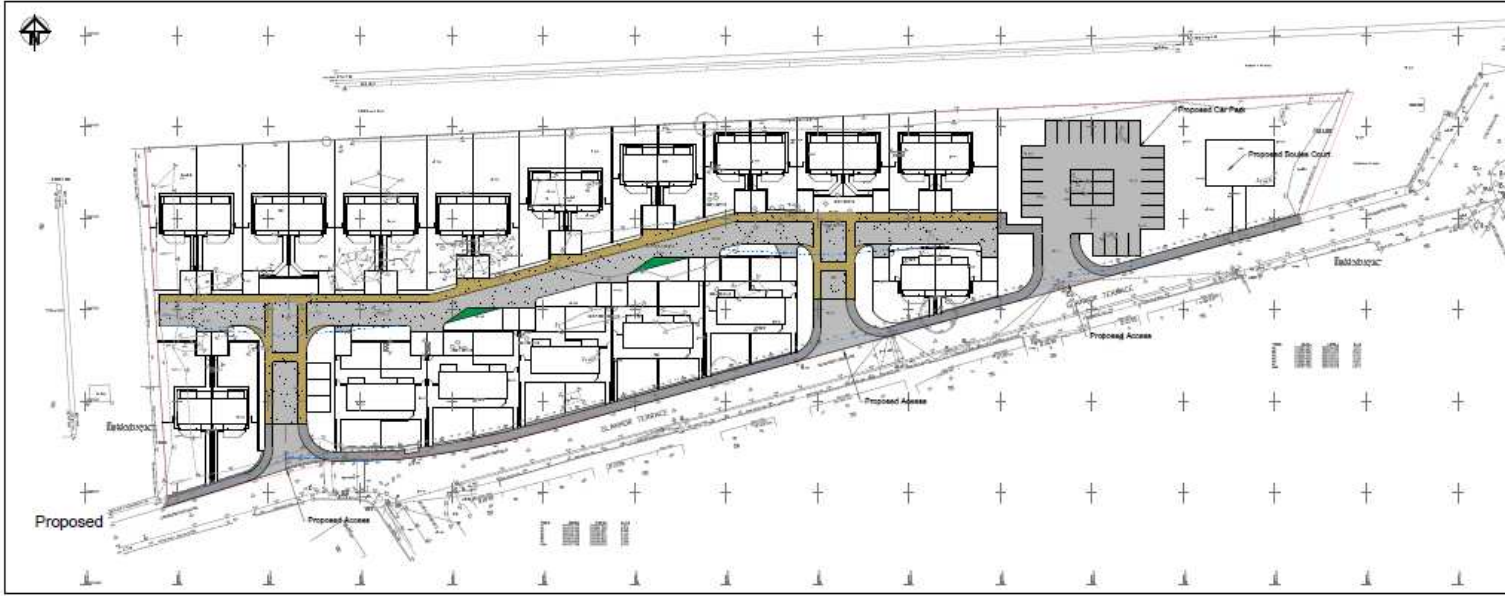
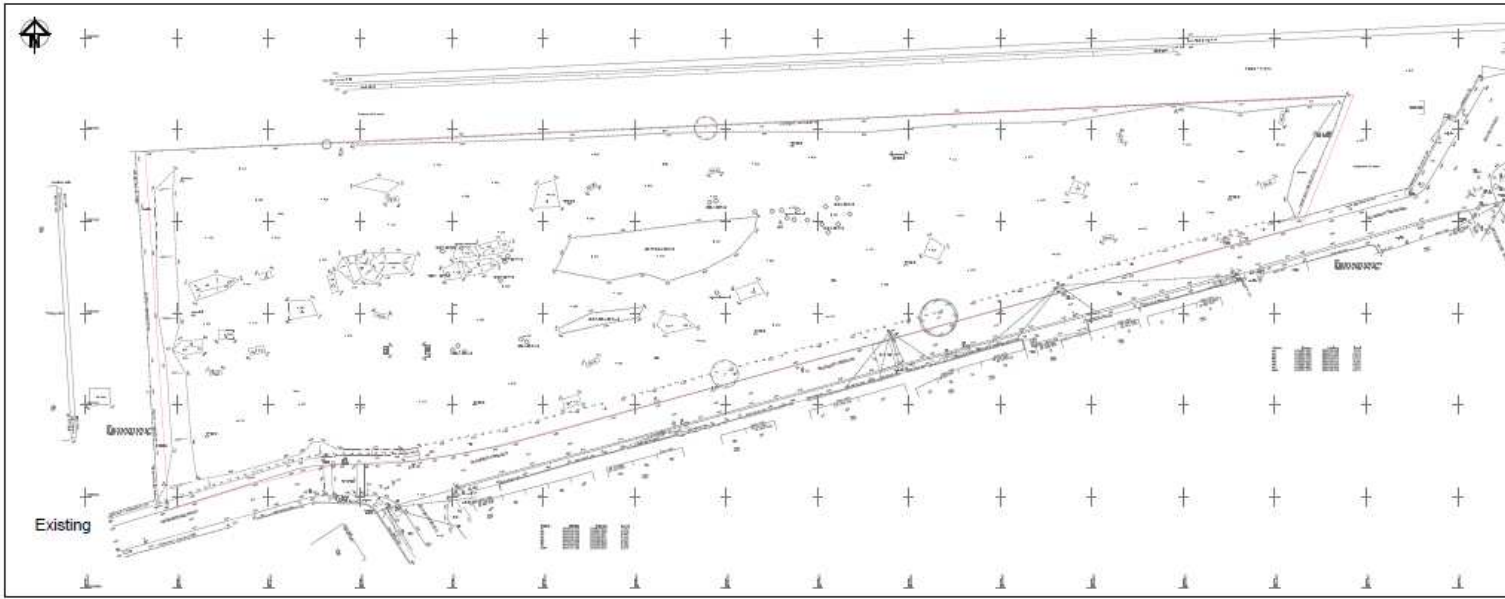
NOTE:
For construction of blocks drainage refer to part (a) of the drawings.

- Legend**
- Existing Public Foot Sewer
 - Existing Public Surface Sewer
 - Proposed Adoptable Foot Sewer
 - Proposed Adoptable Surface Water Drain
 - Proposed Private Elevations
 - Proposed Road Gully
 - Proposed Drainage Channel
 - Drainage Easement

CLIENT WESTERN SOLAR LIMITED	
PROJECT PROPOSED RESIDENTIAL DEVELOPMENT GLANMOR TERRACE BURYPORT	
DRAWING PRELIMINARY DRAINAGE LAYOUT SHEET 2 of 2	
DATE 16/11/16	SCALE 1:200
BY A1	CHKD 1003
DATE 16/11/16	DATE 16/11/16

Tudalen 77

S/38235



A	FIRST ISSUE	DS/2/15
acstro Specialist in Transport Highways & Transportation Engineering, Urban Design, IT Environmental Assessment www.acstro.ie Tel: 00353 854204		
GLANMOR TERRACE BURY PORT		
HIGHWAY GENERAL ARRANGEMENT		
120	150	A
1:500		A1

S/38235



Tudalen 79

Tudalen 80

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Tudalen 82

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Tudalen 83

Tudalen 84

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Tudalen 85

Tudalen 86

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S/38235



Tudalen 87

Tudalen 88

S/38235



S/38235



Tudalen 89

Mae'r dudalen hon yn wag yn fwriadol